

## 4. Development Standards

### Introduction

The development standards presented in this Chapter are intended to provide clear direction for future development projects to meet the goals set forth in this Specific Plan. All projects should be designed and built to create a safe and walkable district with places for people to live, shop, work, play, and gather. Conformance with development standards is mandatory. Such provisions are indicated by use of the words “shall,” “must,” or “is/is not permitted.”

The development standards are organized into five primary sections.

- 1) Public realm development standards give direction to the design of the public right-of-way, as well as the area between the public right-of-way and the adjacent building facade;
- 2) Private realm development standards address specific aspects of site development, including building height, internal setbacks, lighting, landscaping, and signs;
- 3) Parking standards address the number of required parking spaces for permitted uses and methods for the provision for parking;
- 4) Open space standards address the required amount of public and private open space for commercial, residential, and mixed-use projects; and
- 5) Permitted and conditionally permitted uses in the Specific Plan area.

### Applicability

The provisions of this Specific Plan shall supersede the provisions contained in the Westminster Zoning Ordinance (WZO). Where a conflict exists between the provisions in this Specific Plan and the provisions in the WZO, the provisions herein shall prevail. If the Specific Plan is silent on an issue, the provisions of the WZO shall be consulted. Design guidelines contained in Chapter 5 shall be used in concert with these development standards.



Development standards should foster a lively pedestrian lifestyle.



A structure is one way to accommodate required parking spaces.



The public realm includes the vehicular zone, pedestrian zone, and frontage zone.



Outdoor dining, street furniture, unobstructed sidewalk and landscaping can all be found in the public realm.

## Public Realm Development Standards

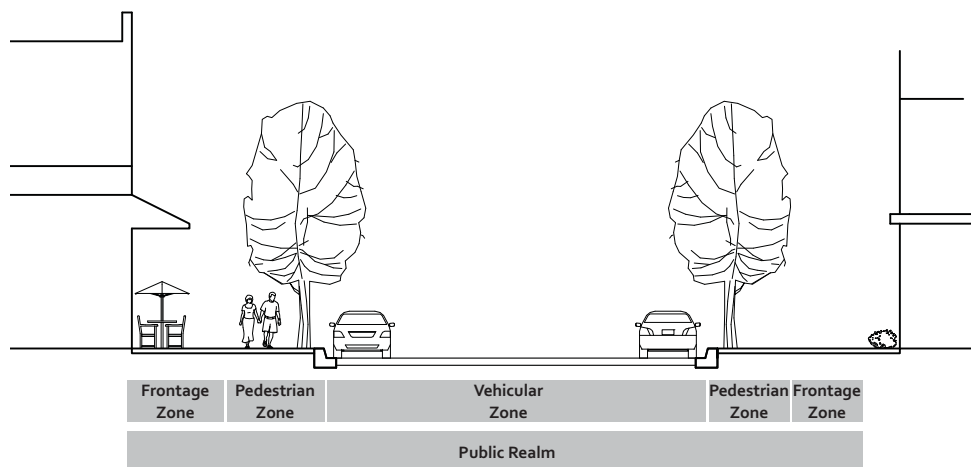
Public realm development standards control the frontage conditions along streets within the Specific Plan area. For the purposes of these development standards the public realm includes the public right-of-way, as well as the area between the public right-of-way and the adjacent building facade. The purpose of combining standards for both the public right-of-way and the adjacent private frontage is to clearly illustrate the design for this critical area. The public realm must provide sufficient space for window shopping, pedestrian through-traffic, outdoor dining, landscape planters, and streetlights.

The public realm is critical to the pedestrian experience and therefore the development standards section has been organized to address three specific areas that require detailed regulatory guidance. As shown in Figure 4.1, *Public Realm Zones*, these areas, or zones, include a vehicular zone, a pedestrian zone, and a frontage zone. The design of each zone will help contribute to the look and feel pedestrians and motorists experience along the street. A general description of each zone is provided below. For further information regarding these zones and how they relate to different building frontages please see Figure 4.13.

**Vehicular Zone:** The vehicular zone consists of vehicular travel lanes and may include bike lanes and parking lanes. The vehicular zone is located in the public right-of-way.

**Pedestrian Zone:** The pedestrian zone consists of the pedestrian walkway and an additional area adjacent to the curb for trees, planters, lighting, and other pedestrian amenities. A minimum 6-foot clear and unobstructed path shall be provide in this zone to accommodate pedestrian movement.

**Figure 4.1 Public Realm Zones**



Pedestrian zone improvements are required along all parcel frontages where existing conditions do not meet minimum requirements. The pedestrian zone is primarily located in the public right-of-way, however along some streets, such as Plaza Way and Asian Garden Mall Drive, a portion of the pedestrian zone may be located on private property. In these cases, the required pedestrian zone will necessitate the provision of additional sidewalk width within the adjacent private property.

As development occurs, the applicant is required to either provide vehicular and pedestrian zone improvements or pay an in-lieu fee to be decided by the City.

**Frontage Zone:** The frontage zone is the area between the primary building facade and the sidewalk. This area may include outdoor dining space, plaza space, or landscaping. Frontage zone standards regulate setback areas, encroachments, and the percent of the building facade required to be located along the setback line. The frontage zone is, in all cases, located on private property.

## GREEN STREET DESIGNS

Roads present many opportunities for green infrastructure application. One principle of green infrastructure involves reducing and treating stormwater close to its source. Urban transportation right-of-ways integrated with green techniques are often called “green streets”. Green streets provide a source control for a main contributor of stormwater runoff and pollutant load. In addition, green infrastructure approaches complement street facility upgrades, street aesthetic improvements, and urban tree canopy efforts that also make use of the right-of-way and allow it to achieve multiple goals and benefits.

Moran Street, Asian Garden Mall Drive and Plaza Way shall be designed to be green streets. Green streets can incorporate a wide variety of design elements including street trees, permeable pavements, bioretention, and swales. Although the design and appearance of green streets will vary, the functional goals are the same: provide source control of stormwater, limit its transport and pollutant conveyance to the collection system, restore predevelopment hydrology to the extent possible, and provide environmentally enhanced roads. Successful application of green techniques will encourage soil and vegetation contact and infiltration and retention of stormwater (Source: California Regional Water Quality Control Board Order No. R8-2009-0030).



The vehicular zone can be enhanced through design techniques such as special paving.



Landscaping is required in the pedestrian zone.



Pedestrian amenities such as benches and landscaping should be provided in the pedestrian zone of Moran Street.

## Moran Street

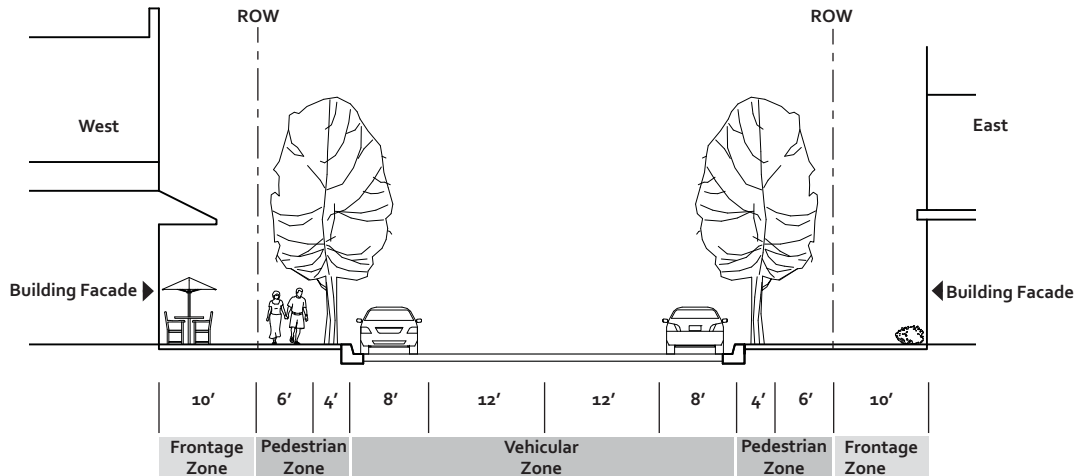
### FRONTAGE ZONE

1. The building facade shall be setback a minimum of 20 feet from the back of curb along the west side of Moran Street; and a minimum of 20 feet from the back of curb along the east side of Moran Street north of Saigon Villas. This setback is hereafter referred to as the “front setback.”
2. 80 percent of the building facade is required to be located along the front setback line. Paseos, plazas, and forecourts may count toward the minimum percent of the building facade that is required to be located along the front setback line.
3. Awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, entrance overhangs, and arcades are permitted to encroach into the required front setback up to a maximum of 6 feet. Additional requirements particular to specific frontage types can also be found on page 4-21.
4. The frontage zone along commercial or mixed-use frontages shall be an extension of the sidewalk or used for outdoor dining space. The frontage zone along buildings without doors or windows shall be enhanced with potted plants, bench seating, or other pedestrian amenities.
5. Front setback areas along residential frontages shall provide pathways connecting the sidewalk to the front door and to any parking areas, and shall otherwise be landscaped across the entire property frontage, with the exception of a pedestrian walkway, as described below.

### PEDESTRIAN ZONE

1. Landscape and street lighting shall be located within a minimum 4 foot wide area adjacent to the face of curb.
2. A 6-foot wide unobstructed pedestrian walkway shall be provided.

Figure 4.2 Moran Street Section



Note: A sidewalk easement and landscape maintenance agreement must be recorded when sidewalks occur outside of the public right-of-way.



**Bolsa Avenue**

**FRONTAGE ZONE**

1. Commercial and mixed-use building facades shall be setback a minimum of 20 feet from the back of curb. Residential building facades shall be setback a minimum of 24 feet from the back of curb. This setback is hereafter referred to as the "front setback."
2. Awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, entrance overhangs, and arcades are permitted to encroach into the required front setback up to a maximum of 6 feet. Additional requirements particular to specific frontage types can also be found on page 4-21.
3. Front setback areas along commercial or mixed-use frontages shall be an extension of the sidewalk or used for outdoor dining space. Setback areas along frontages without doors or windows shall be landscaped.
4. Front setback areas along residential frontages shall provide pathways connecting the sidewalk to the front door and to any parking areas, and shall otherwise be landscaped across the entire property frontage, with the exception of a pedestrian walkway, as described below.

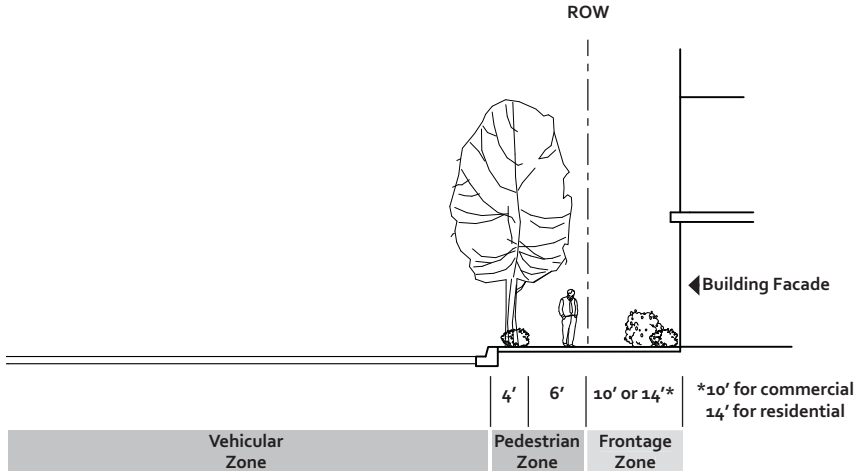


A minimum 8-foot-wide unobstructed pedestrian walkway shall be provided on Bolsa Avenue.

**PEDESTRIAN ZONE**

1. Landscape and street lighting shall be located within a minimum 4 foot wide area adjacent to the face of curb.
2. An 8-foot wide unobstructed pedestrian walkway shall be provided.
3. Access to new development shall not be taken directly from Bolsa Avenue. New curb cuts are prohibited.

**Figure 4.3 Bolsa Avenue Section**



Note: A sidewalk easement and landscape maintenance agreement must be recorded when sidewalks occur outside of the public right-of-way.



The frontage and pedestrian zones of Bishop Place should function as a transition between existing residential uses and new development.

## Bishop Place

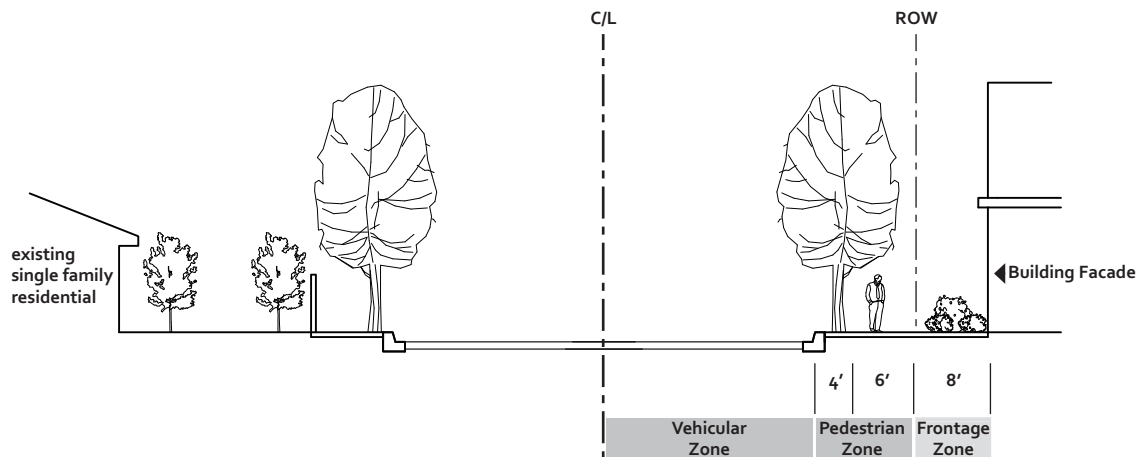
### FRONTAGE ZONE

1. The building facade shall be setback a minimum of 18 feet from the back of curb. Portions of the building facade that are on the fourth story or higher shall have a 30 foot setback from the back of curb.
2. Awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, entrance overhangs, and arcades are permitted to encroach into the required front setback up to a maximum of 6 feet. Additional requirements particular to specific frontage types can also be found on page 4-21.
3. Uses along Bishop Place shall provide pathways connecting the sidewalk to the business or residence and to any parking areas, and shall otherwise be landscaped across the entire property frontage with the exception of a pedestrian walkway, as described below.

### PEDESTRIAN ZONE

1. Landscape and street lighting shall be located within a minimum 4 foot wide area adjacent to the face of curb.
2. A 6 foot wide unobstructed pedestrian walkway shall be provided.

Figure 4.4 Bishop Place Section



Note: A sidewalk easement and landscape maintenance agreement must be recorded when sidewalks occur outside of the public right-of-way.

## Asian Garden Mall Drive

### FRONTAGE ZONE

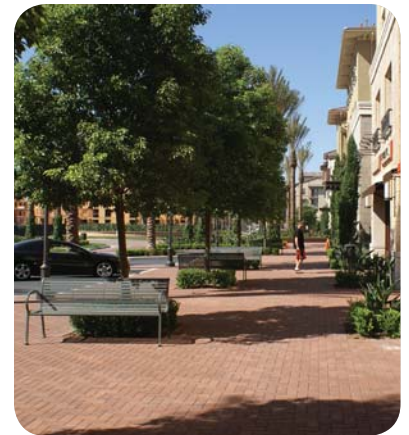
1. The building facade shall be setback a minimum of 20 feet from the back of curb. This setback is hereafter referred to as the “front setback.”
2. 80 percent of the building facade is required to be located along the front setback line. Paseos, plazas, and seating areas may count toward the minimum percent of the building facade that is required to be located along the front setback line.
3. To promote an active and interesting pedestrian environment retail uses oriented towards the street frontage are strongly encouraged at the ground floor along Asian Garden Mall Drive north of Plaza Way. These areas are the primary focus of pedestrian activity. Retail uses are also allowed along Moran Street and Bolsa Avenue, but can be intermixed with other uses (office or residential, for example) to allow for the greatest land use flexibility and ability to respond to changing market conditions. Refer to Table 4.3, *Permitted Uses*, for a list of preferred retail uses.
4. Awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, entrance overhangs, and arcades are permitted to encroach into the required front setback up to a maximum of 6 feet. Additional requirements particular to specific frontage types can also be found on page 4-21.
5. Front setback areas along commercial or mixed-use frontages shall be an extension of the sidewalk or used for outdoor dining space. Setback areas along frontages without doors or windows shall be landscaped.
6. Front setback areas along residential frontages shall provide pathways connecting the sidewalk to the front door and to any parking areas, and shall otherwise be landscaped across the entire property frontage.

### PEDESTRIAN ZONE

1. Landscape and street lighting shall be located within a minimum 4 foot wide area adjacent to the face of curb.
2. A 10 foot wide unobstructed pedestrian walkway shall be provided.

### VEHICULAR ZONE

1. The configuration for the vehicular zone varies. The four possible configurations include:
  - a) North of Plaza Way with parking (Figure 4.5)
  - b) North of Plaza Way without parking (Figure 4.6)
  - c) South of Plaza Way with parking (Figure 4.7)
  - d) South of Plaza Way without parking (Figure 4.8)

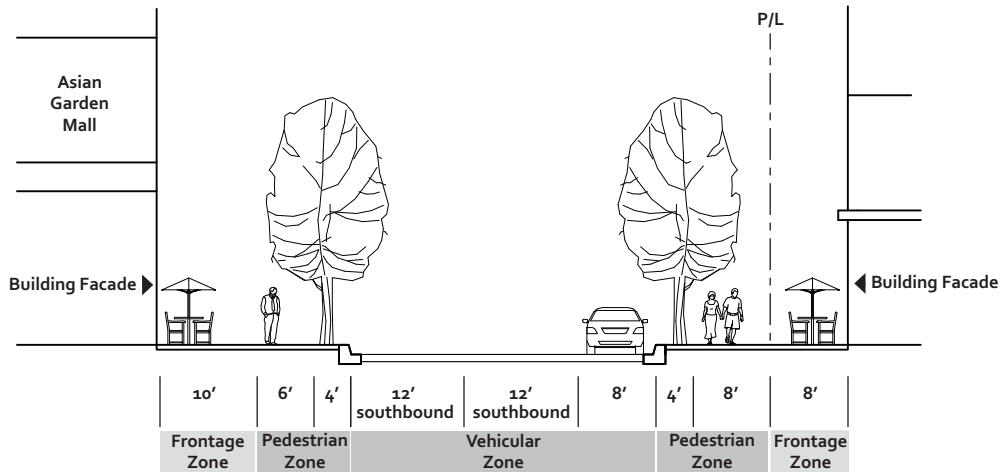


To enhance a pedestrian environment, building facades along Asian Garden Mall Drive shall have a minimum setback of 20 feet from the back of curb.



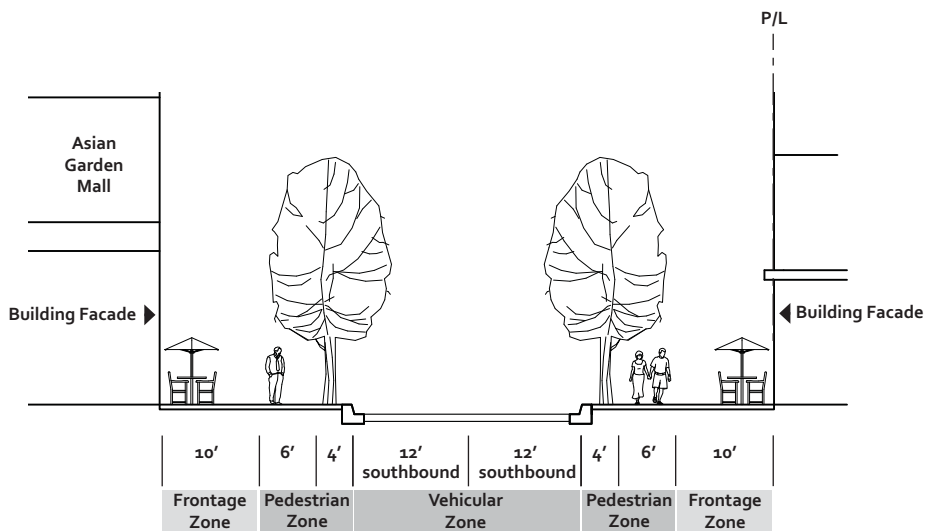
An expansive public realm on Asian Garden Mall Drive will help create a vibrant pedestrian promenade like atmosphere.

Figure 4.5 Asian Garden Mall Drive North (with Parking) Section



Note: A landscape maintenance and access agreement must be recorded when a pedestrian and/or frontage zone is located along their common border.

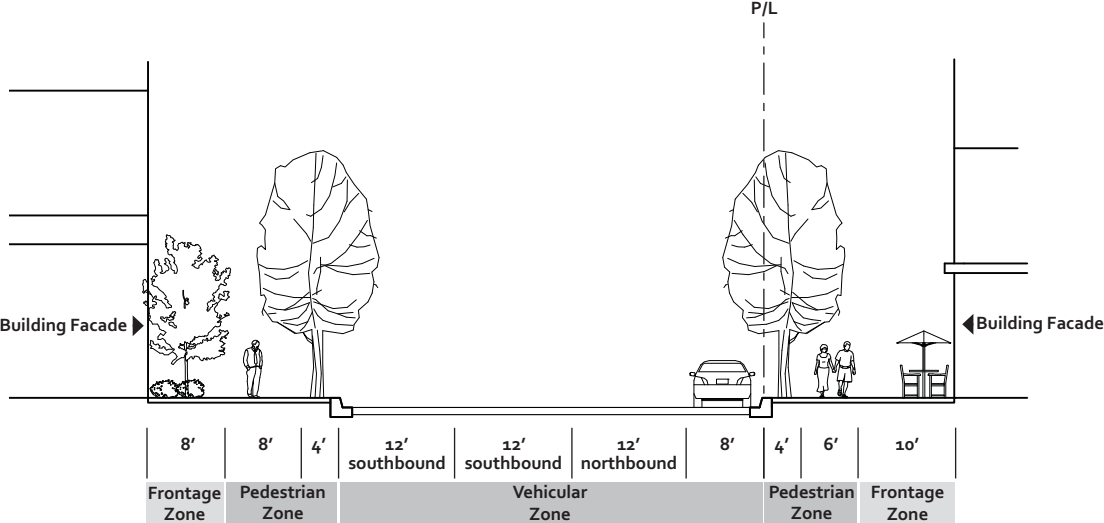
Figure 4.6 Asian Garden Mall Drive North (without Parking) Section



Note: A landscape maintenance and access agreement must be recorded when a pedestrian and/or frontage zone is located along their common border.

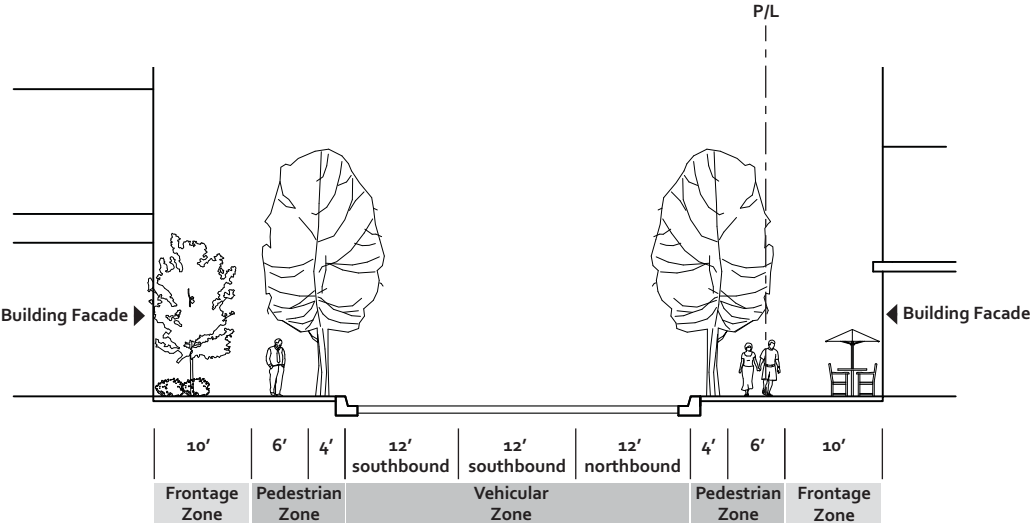


Figure 4.7 Asian Garden Mall Drive South (with Parking) Section



Note: A landscape maintenance and access agreement must be recorded when a pedestrian and/or frontage zone is located along their common border.

Figure 4.8 Asian Garden Mall Drive South (without Parking) Section



Note: A landscape maintenance and access agreement must be recorded when a pedestrian and/or frontage zone is located along their common border.



Building entrance elements, such as awning, may encroach 6 feet into the pedestrian zone.



Landscape, lighting, and other pedestrian amenities shall be located adjacent to the curb face.

## Plaza Way

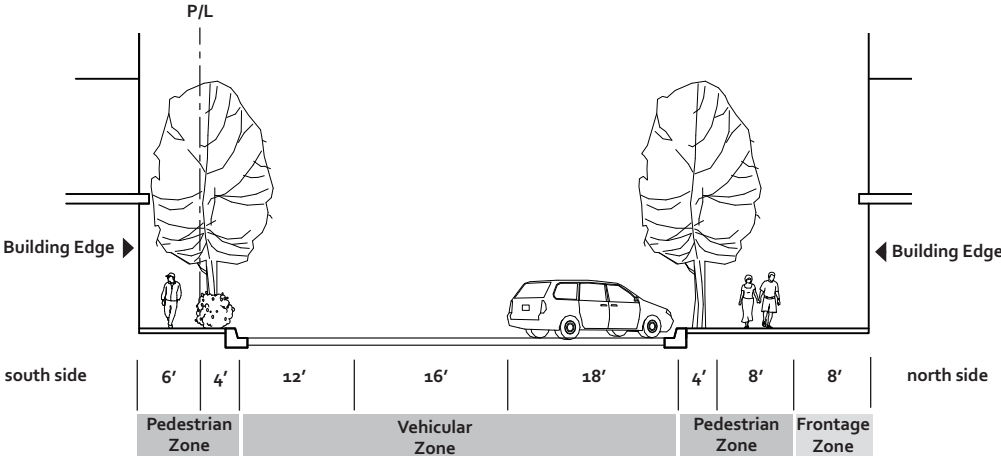
### FRONTAGE ZONE

1. Commercial and mixed-use building facades shall be setback a minimum of 12 feet from the back of curb. Residential building facades shall be setback a minimum of 20 feet from the back of curb. This setback is hereafter referred to as the "front setback."
2. 80 percent of the building facade is required to be located along the front setback line. Paseos and plazas may count toward the minimum percent of the building facade that is required to be located along the front setback line.
3. To promote an active and interesting pedestrian environment retail uses oriented towards the street frontage are strongly encouraged at the ground floor along Plaza Way. Refer to Table 4.3, *Permitted Uses*, for a list of preferred retail uses.
4. Residential entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, and entrance overhangs are permitted to encroach into the required front setback up to a maximum of 6 feet. Additional requirements particular to specific frontage types can also be found on page 4-22.
5. Storefront awnings may encroach 6 feet into the pedestrian zone and arcades may encroach 8 feet into the pedestrian zone so long as they do not cross property lines or right-of-way boundaries per the building frontage type standards in this Specific Plan.
6. Front setback areas along commercial or mixed-use frontages shall be an extension of the sidewalk or used for outdoor dining space. Setback areas along frontages without doors or windows shall be landscaped.
7. Front setback areas along residential frontages shall provide pathways connecting the sidewalk to the front door and to any parking areas, and shall otherwise be landscaped across the entire property frontage with the exception of a pedestrian walkway, as described below.

### PEDESTRIAN ZONE

1. Landscape and street lighting shall be located within a minimum 4 foot wide area adjacent to the face of curb.
2. A 8 foot wide unobstructed pedestrian walkway shall be provided.

Figure 4.9 Plaza Way Section (view from Moran Street looking toward Asian Garden Drive)



Note: A landscape maintenance and access agreement must be recorded when a pedestrian and/or frontage zone is located along their common border.



Benches are a type of street furniture that should be included throughout the Specific Plan area.



Decorative cast iron tree grates add to the ambiance of the street.



Special paving should be used at prominent intersections to add interest and calm traffic.

## General Public Realm Standards

The following standards address items placed within the pedestrian and frontage zones including landscaping, lighting, street furniture, traffic calming mechanisms, outdoor dining, outdoor display areas, and carts and kiosks. In addition to the street-specific standards presented earlier in this chapter, the following standards shall apply to all streets within the Specific Plan area.

### LANDSCAPING AND LIGHTING

1. Each block shall have a single species of large, deciduous trees in planting wells with tree grates a maximum spacing of 40 feet on-center.
2. Pedestrian-scale decorative street lighting in sidewalk a maximum spacing of 80 feet on-center. Light source should be located 12-14 feet above finished grade.

### STREET FURNITURE

1. Street furniture includes items such as benches, bus shelters, trash receptacles, plant containers, tree grates and guards, bicycle racks, and bollards.
2. The design and selection of street furniture shall include considerations for the security, safety, comfort and convenience of pedestrians, including the handicapped.
3. Street furniture shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
4. All street furniture shall be constructed of long wearing, vandal resistant materials.
5. The selection, siting and layout of street furniture shall insure that each item or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole. All street furniture to be installed by private parties as part of a development shall be subject to approval by the City.
6. Appropriate materials for street furniture may include stucco, concrete, painted metal or anodized aluminum. Decorative tiles may be used as an accent.
7. Freestanding trash receptacles shall be bolted into the ground, have a plastic liner and rounded cover.
8. Large plant containers and planters shall be open to the ground below. A permanent irrigation system shall be installed.
9. Tree grates and tree guards shall be made of cast iron.
10. Tree grates shall be expandable, so that the inner rings can be broken out as the tree grows.



**TRAFFIC CALMING**

- 1. Special paving with distinctive patterns shall be used at significant intersections and at gateways into the Moran Street Specific Plan area. Refer to Chapter 3 for locations of significant intersections and gateways. Figure 4.10 illustrates special paving at the intersection of Plaza Way and Asian Garden Mall Drive.
- 2. Special paving with distinctive patterns should be used mid-block where streets intersect with paseos or parking structure entrances. The distinctive paving will alert motorists that this is an area of pedestrian activity.

**Figure 4.10 Plaza Way/Asian Garden Mall Drive Intersection**



Distinctive crosswalks call attention to pedestrians and enhance their safety.



Bulb-outs are a traffic calming technique used to improve the pedestrian experience.



Each block shall have a single species of large, deciduous trees.





Outdoor dining space shall be adjacent to its associated eating establishment.



A physical barrier such as a slotted-fence can separate outdoor eating areas from pedestrians.

## OUTDOOR DINING

The following standards apply to outdoor dining associated with eating and drinking establishments.

1. The sale of alcohol shall be subject to the review and approval of a Conditional Use Permit.
2. Outdoor dining shall be an extension of an existing or proposed eating establishment on contiguous property and shall be located directly adjacent to the eating establishment.
3. Outdoor dining areas that are located along public or private streets shall be located within the frontage zone and shall not encroach into the pedestrian zone.
4. There shall be a clear distinction between dining area and the sidewalk through the use of planters and/or physical barriers.
5. A minimum 3 foot high physical barrier shall surround any outdoor dining where alcoholic beverages are served.
6. All tables and chairs shall be of sturdy construction and made of quality materials.
7. Food service carts shall adhere to the standards contained in Section 17.40.070 of the WZO.
8. The applicant or operator shall pay all fees and deposits required by the Westminster Zoning Ordinance prior to operation of the outdoor dining use.
9. Additional parking spaces for the outdoor dining portion of the restaurant are not required provided the outdoor dining portion does not exceed 25 percent of the restaurant gross floor area or 1,000 square feet, whichever is smaller.

## OUTDOOR SALES DISPLAY

Outdoor sales displays allow businesses additional opportunities to sell their products, and simultaneously enhancing the pedestrian experience by creating interesting outdoor spaces. These areas are encouraged in the Specific Plan, particularly along Asian Garden Mall Drive, and they should be used in a manner that promotes the character and visual appearance desired by the community in this Specific Plan.

Outdoor sales display shall be subject to the standards below. Outdoor exhibit events, including art, cultural, and educational displays and arts and crafts exhibits on nonresidential properties, as well as seasonal sales lots and outdoor sales events are reviewed separately and require approval of a Temporary Use or Event Permit per Chapter 17.540 of the WZO.

1. The owner or primary lessee of the private property that immediately abuts the sidewalk or plaza (the Frontage Zone) is the only one who possesses the right sell or display goods.
2. Display areas may extend up to 4 feet from the edge of a building into the Frontage Zone, and may not exceed 60 percent of the width of the business frontage, or 30 linear feet, whichever is smaller. Display areas may not encroach into the Pedestrian Zone.
3. Outdoor sales display areas shall be used by merchants to provide a sample of merchandise that is available inside the store, and are limited to flowers and produce (fruits and vegetables). They are not intended to provide additional retail space or locations for clearance/damaged items.
4. Uses other than flowers or produce may be allowed within the outdoor sales display area subject to the approval of a resolution from Planning Commission permitting such use.
5. Outdoor sales displays shall be limited to the regular hours of operation of the respective business. All items placed outside shall be removed each evening, unless otherwise approved.
6. Outdoor sales areas shall not restrict the free movement of pedestrians.
7. Outdoor sales display areas shall not interfere with access to any commercial establishment. All required exits and access ways, including disabled access, to the tenant space shall be maintained clear of obstructions.
8. Display merchandise shall not obscure or interfere with any official notice, public safety sign, or device.
9. Display merchandise shall not extend into the safe line-of-sight distances at intersections, as determined by the City Engineer.



Outdoor sales or display areas shall be well-maintained aesthetically pleasing.



Outdoor sales shall provide a sample of merchandise available inside the store.



Carts and kiosks are one factor in creating a lively streetscene.



A unique cart or kiosk design can be appropriate for special uses.

10. Outdoor sales display areas shall be maintained in an orderly, uncluttered, and aesthetically pleasing condition.
11. Outdoor storage in conjunction with any outdoor use shall be prohibited.
12. Display of merchandise from cars, trucks, or other vehicles is prohibited.
13. Noise shall not be generated by outdoor merchandise.
14. All temporary signs shall be consistent in design to the primary business and shall be professional in appearance.
15. Signs shall not be posted outside of the designated display area.
16. Sales to motorists or persons in vehicles in vehicles is prohibited.
17. Personal services, such as tattoos, hair braiding, and massages, are not permitted outdoors, except for table service of food in conjunction with approved outdoor seating, or as approved by the Director.
18. Incidental outdoor uses shall not require additional parking beyond that which is otherwise required for the primary permanent use.

#### CARTS AND KIOSKS

Carts and kiosks are permitted on private property zoned for commercial purposes, subject to approval by the Community Development Director and compliance with the following standards. Carts and kiosks may be permitted as a temporary use on public property subject to approval by both the Community Development and Public Works Directors.

1. No portion of a cart or kiosk shall overhang the property line.
2. The placement of carts or kiosks shall not:
  - a) Obstruct access to or occupy a parking space
  - b) Interfere with access to public property or any adjoining property
  - c) Interfere with maintenance or use of street furniture
3. The cart or kiosk shall be a maximum of 4 feet in width excluding any wheels, a maximum of 8 feet in length including any handle, and a maximum of 6 feet in height excluding canopies, umbrellas or transparent enclosures unless a larger size is approved by the Community Development Director.
4. The number, location and storage of kiosks shall be evaluated as part of the development review process.

5. The following factors shall be considered regarding the location of carts or kiosks:
  - a) The width of the sidewalk or paseo
  - b) The location of building entrances
  - c) Physical obstructions including, but not limited to signposts, light standards, benches, newsstands, utilities and landscaping
  - d) Vehicle activity in the adjacent street including but not limited to bus stops, truck loading zones, passenger loading or parking spaces
  - e) Pedestrian traffic volumes
  - f) Handicapped accessibility
6. The following factors shall be considered regarding the design of cart or kiosks:
  - a) Appropriateness of the cart or kiosk design, color scheme, and character relative to its location
  - b) Appropriateness and location of signing and graphics
7. During hours of operation, the cart or kiosk must remain in the location specified on the approved site plan
8. Sales to motorists or persons in vehicles in vehicles is prohibited.
9. The cart or kiosk operator shall pay all fees and deposits required by the Westminster Municipal Code prior to the establishment of the use.
10. The sale of alcoholic beverages shall be prohibited.
11. Fire extinguishers may be required at the discretion of the Fire Department.
12. All cart and kiosk uses shall be self contained for water, waste, and power to operate.
13. A cart or kiosk operator shall provide a method approved by the Community Development Director for disposal of business related wastes.



Carts and kiosks shall not interfere with pedestrian flow.

## Private Realm Development Standards

Private realm development standards address specific aspects of site development, including building height, internal setbacks, lighting, landscaping, and signs.

### Site Development

The following section presents site development standards applicable to all types of uses in the Moran Street Specific Plan.

#### BUILDING-TO-BUILDING SETBACKS

1. There is no minimum setback from the side property line to the primary building of a commercial or mixed-use development.
2. The minimum setback from the side property line to a solely residential development shall be 10 feet.
3. New development located in Planning Areas D and E shall have a 10 foot building setback from the eastern property line.
4. New development located in Planning Area A shall have a 10 foot building setback from the western property line.
5. If a developer is building multiple buildings on a single property, the required minimum building separation shall be 10 feet. Building separation is defined as the distance measured between the primary building mass of two adjacent buildings on a single property as shown.

#### MINIMUM DWELLING UNIT SIZE

The minimum residential dwelling unit sizes, as shown in Table 4.1, are computed by calculating the living areas as measured from the outside of walls and exclude garages, carports, exterior courtyards, patios or balconies.

**Table 4.1 Dwelling Unit Sizes**

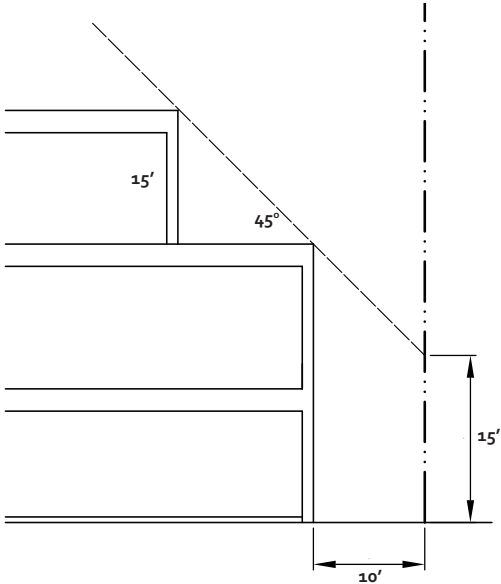
Number of Bedrooms	Minimum Dwelling Unit Size
Studio	650 sq. ft.
1	650 sq. ft.
2	800 sq. ft.
3	1,000 sq. ft.
3+	1,200 sq. ft.



**BUILDING HEIGHT**

- 1. Building height is measured from the average finished grade to the top of a cornice, parapet, eave line of a peaked roof, or a mansard roof ridge line. The maximum building heights in the Specific Plan area are as follows:
  - a) 45 foot maximum for developments with less than 25,000 square feet of site area
  - b) 60 foot maximum for developments with a net site area of 25,000 square feet or greater.
  - c) Where new development in Planning Area D and E is proposed to abut existing single-family residences on the eastern property line, the permitted height of new development shall be determined by a 45 degree slope originating at a height of 15 feet along the property line (creating a 1 to 1 height to setback ratio) as shown in Figure 4.11.
- 2. Chimneys, vent pipes, cooling towers, flagpoles, spires, domes, cupolas, roof deck trellises, transmission antennae, and necessary mechanical equipment may exceed the permitted height by a maximum of 10 feet.

**Figure 4.11 Permitted Building Height Adjacent to Existing Residential Uses**





Landscaping can be used for screening or provide a visual transition or buffer between uses.

## BUFFERS TO EXISTING RESIDENTIAL USES

In addition to standards for screening in Section 17.300.035 of the WZO, the following standards apply to new development located adjacent to existing residential neighborhoods on the eastern and southern boundary of the Specific Plan area.

1. The following activities associated with commercial businesses are not permitted within 50 feet of residential properties adjacent to the Specific Plan area:
  - a) Loading docks
  - b) Service areas
  - c) Noise- or odor-generating operations
2. The following activities associated with a commercial business are not permitted within 20 feet of residential properties adjacent to the Specific Plan area:
  - a) Trash and recycling enclosures
  - b) Mechanical equipment
3. Landscaping shall be used in conjunction with other features to reduce potential light and glare impacts.
4. Screening and/or landscape buffers shall be required to hide trash and recycling enclosures, rear entrances, utility and service areas, and other incompatible uses.
5. Cutoff lighting fixtures shall be used and the fixtures shall be shielded and directed downward to direct light away from adjacent residences.

### Building Frontage Types and Standards

Building frontages define the relationship between a building facade and the street. The particular building frontage type used will depend on the primary use of the ground floor abutting the frontage zone. As a result, a single building facade may utilize several different frontage types to add dimension to the building and create a dynamic pedestrian and street environment. For example, to best meet the needs of the ground floor use and add dimension to the building's exterior, a building facade may transition from a forecourt, to a storefront, to an arcade or gallery as shown in Figure 4.12. While the frontage type may vary, a clear pedestrian path of travel shall be maintained at all times.

A description of each building frontage type is provided on the following pages. Parking structure entrances or stalls located on the ground floor must comply with additional design guidelines as specified on page 5-34.

Figure 4.12 Building Frontage Types





## STOREFRONT

Storefronts are facades placed at or close to the sidewalk with the entrance at sidewalk grade. This type of frontage is common for retail uses.

### Standards

1. Any setback area must be treated as an extension of the sidewalk space.
2. 14 foot minimum ground floor plate height for all development that is not exclusively residential.
3. 65 percent of the ground floor facade shall be transparent windows and doors that allow views of the indoor space.
4. Windows shall be transparent. Opaque or reflective glazing is not permitted.
5. A combination of design elements must be used on the building facade and/or in relationship to the building at street level to animate and enliven the street. These design elements may include but are not limited to ornamentation, molding, changes in material or color, architectural lighting, awnings, balconies, porches, landscaped planter boxes, trellises, columns, cornices, arches, and decorative tiles.
6. Awnings shall have a 10 foot minimum ground clearance.
7. Awnings shall not be wrapped around building corners.
8. All awnings on a single building shall have a consistent material, color, size, and style regardless of a different tenant or use.





**GRAND ENTRY**

Grand entries are a primary entrance with a grand architectural expression. A grand entry should be prominent and easy to identify. Entries may be inset slightly from the primary building wall and are typically raised above the sidewalk. This frontage type is appropriate for office and multi-family residential uses accessed from a common lobby.

**Standards**

- 1. Setback areas may be landscaped, paved, or be a combination of landscaping and paving.



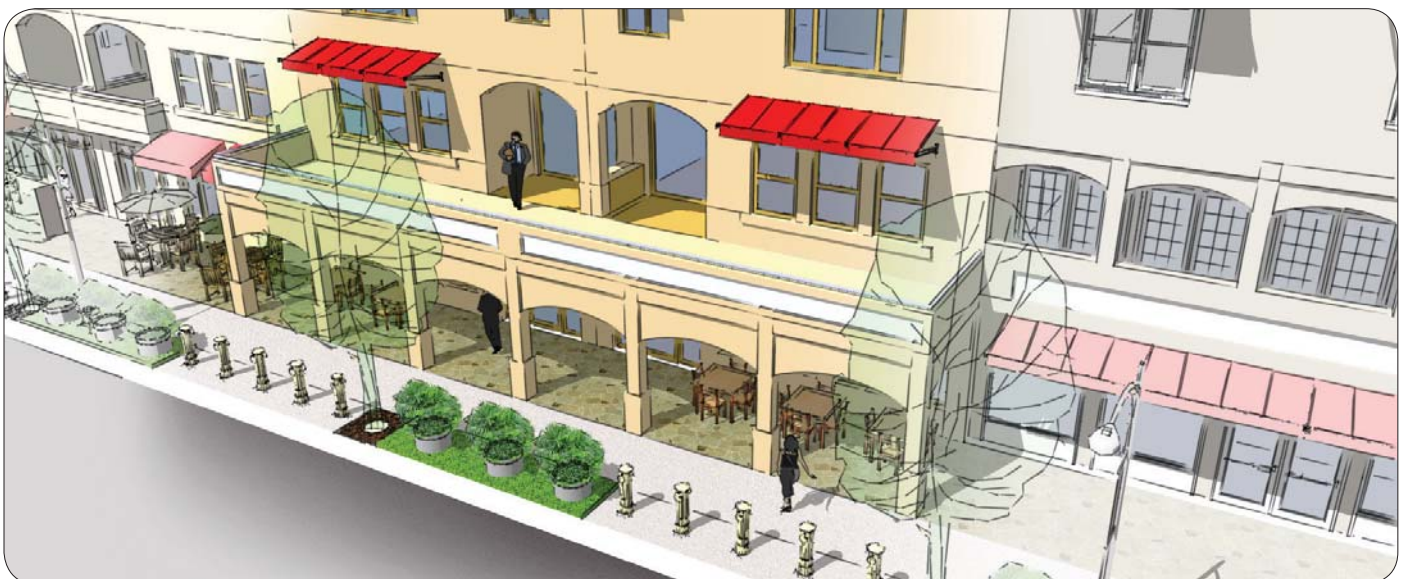


### ARCADE OR GALLERY

Arcades are facades with attached colonnades, covered by upper stories. Galleries are similar to arcades; however, they are designed as covered walkways in which the upper stories do not extend over the covered area (the only projection from the primary building massing is the covered walkway). These two types are ideal for retail uses, but only when the sidewalk is fully enclosed within the arcade or gallery so that a pedestrian cannot bypass it. Arcades can encroach into the pedestrian zone.

#### Standards

1. Minimum arcade or gallery width is 10 feet, and maximum column spacing along the street is 15 feet.
2. Setback areas must be treated as an extension of the sidewalk space.
3. Arcades or galleries can only be used in areas where the structural columns do not encroach into the public right-of-way or cross a property line.



**STOOP**

Stoops are elevated entry porches/stairs placed close to the sidewalk, with the ground story elevated from the sidewalk, securing privacy for the windows and front rooms. This type is suitable for ground-floor residential uses with short setbacks.

**Standards**

- 1. Setback areas may be landscaped, paved, or be a combination of landscaping and paving.



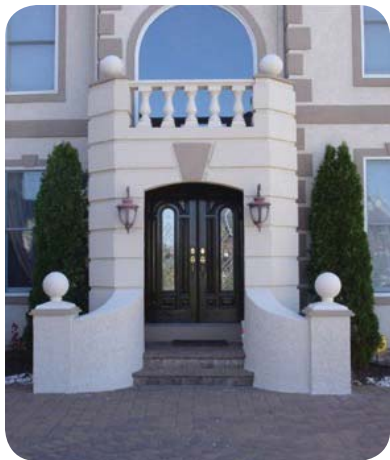


## GRAND PORTICO

Porticos are roofed structures supported by columns leading to the entrance of a building. A grand portico is a portico expressed at a civic scale, meant to project the image of an important community building. A grand portico is an appropriate frontage for civic buildings, as well as for quasi-civic buildings such as hotels.

### Standards

1. Setback areas must be landscaped for non-commercial buildings and may be paved for commercial buildings.
2. The portico may encroach into the front setback area.



**FORECOURT**

Forecourts are recessed areas along the building frontage forming a courtyard. A forecourt can be appropriate for ground floor or upper floor residential uses. A forecourt can also be combined with storefronts for retail and office developments.







Double-paned windows will reduce noise impacts on residential units in mixed-use projects.



Solar access should be considered in the final design and placement of buildings.

## Mixed-Use Projects

Mixed-use projects combine commercial, office, and/or residential uses into one single development. Mixed-use projects can be vertically mixed, where each use is located on a separate floor, or horizontally mixed, where each use is located in a separate building. Mixed-use projects present many interesting design opportunities and challenges, in particular, the necessity to balance the needs of residential uses with the needs of commercial and/or office uses. The following standards are intended to ensure the compatibility of residential uses with that of commercial and/or office uses in a mixed-use project.

1. All residential parking shall be provided on the project site.
2. Parking spaces specifically designated for non-residential and residential uses shall be marked by the use of posting, pavement markings, and/or physical separation.
3. Horizontal mixed-uses, when located on the same site and in separate buildings, shall provide landscaped pedestrian walkways or multi-use paths to connect the uses, structures, and open space.
4. Solar access and noise attenuation should be a consideration in the final design and placement of buildings.
5. Vehicular access to each site must be designed to minimize conflicts between pedestrians and automobiles. Sight lines, pedestrian walkways, and lighting are factors to consider in final site designs.
6. Site planning must take the location of residential units into consideration and must screen or cover service areas to minimize noise levels and visual impacts.
7. Residential units must be designed to ensure the security of residents through the provision of secured entrances and exits that are separate from the nonresidential uses and are directly accessible to resident parking areas.
8. Residential portions of the project must be designed to limit the interior noise caused by the commercial and parking portions of the project. Proper design may include, but must not be limited to, building orientation, double- or extra-strength windows, wall and ceiling insulation, and orientation and insulation of vents. Where it is necessary that windows be closed in order to achieve the required level, means must be provided for ventilation/cooling to provide a habitable environment.
9. No use shall produce continual vibrations or noxious odors that are perceptible by the average person at the property lines of the site or within the interior of residential units on the site. Commercial uses with residential units either above or attached shall provide ventilation systems to prevent odors from adversely affecting residential units.

10. Commercial uses must be designed and operated, and hours of operation limited where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic, trash collection, routine deliveries, or late-night activity.
11. No use may allow loading or unloading of heavy trucks between the hours of 8 p.m. and 6 a.m.
12. Outdoor lighting associated with commercial uses shall be shielded so as not to not adversely impact surrounding residential uses, but shall provide sufficient illumination for access and security purposes.
13. Outdoor lighting shall not blink, flash, oscillate, or be unusually bright or intense. Landscaping shall be used with other features to reduce potential light and glare impacts.
14. Covered trash enclosures are required due to the urban nature of mixed-use environments. Since residential units have the potential to be close together and will most likely be designed as multistory, covered structures can minimize the visual impact of unsightly trash bins from dwelling units.
15. Utility structures become a larger design issue as density increases. The various structures and boxes must be carefully sited and coordinated with landscaping before final engineering plans are done. Major utilities and pull-boxes should be out of the line of sight.

### Live/Work Projects

Live-work units are a unique type of mixed-use development that combines residential living space and commercial or office space for a single owner. Live-work uses enable the City to adapt to changes in the economy and meet the needs of special groups such as artists or new businesses that need smaller, affordable work and housing space. Live-work units and buildings are subject to the following standards:

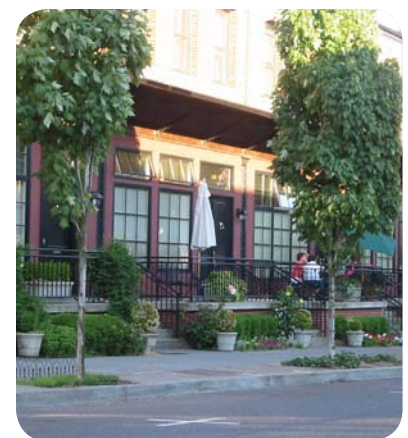
1. The minimum total floor area of a live/work unit shall be 800 square feet.
2. The commercial area is permitted to be a maximum of 50 percent of the area of each live/work unit.
3. The commercial area approved for the live-work unit shall not be converted into a residential use.
4. The commercial use shall be limited to the first or main floor only of the live/work unit.
5. A maximum of 1 non-residential worker is allowed to occupy the commercial area at any one time.
6. Dwelling units that include an office that is less than 10 percent of the area of the dwelling unit shall not be classified as a live/work unit.
7. Each live/work unit fronting a street, and located at street level, shall have a frontage that publicly displays the interior of the commercial area of unit.



Major utilities and pull-boxes should be out of the line of sight.



Loading areas shall be screened or covered.



Live/work units shall have a frontage that publicly displays the interior of the commercial area.



The portion of a residential project's frontage zone not used for pedestrian access shall be landscaped.



A design feature shall be provided along a wall or fence every 12 feet to add interest.

## General Private Realm Standards

The following standards address items in the private realm including storage, loading, utility and equipment areas, landscaping, fences and walls, outdoor lighting, refuse and recyclable material storage, public art, signs, and outdoor advertising. These standards are applicable to all types of projects developed within the Specific Plan area.

### STORAGE, LOADING, UTILITY, AND EQUIPMENT AREAS

1. Screening of outdoor equipment, storage, and loading areas shall be screened per the Section 17.300.35 of the WZO.
2. Outdoor storage that is not enclosed within a structure is not permitted.
3. All new and existing public and private utility lines and distribution facilities, on street frontages, including but not limited to electric, communications, street lighting, and cable television lines, shall be installed underground.
4. Surface mounted transformers, pedestal-mounted terminal boxes, meter cabinets, concealed ducts and other equipment appurtenant to underground facilities located on private property or installed pursuant to a franchise or other agreement need not be installed underground.

### LANDSCAPING

In addition to the landscaping standards contained in Chapter 17.310 of the WZO, the following standards shall apply.

1. In residential projects, the portion of the frontage zone that is not used for pedestrian access shall be landscaped with grass or groundcover. Trees or shrubs may be planted in this area.

### FENCES AND WALLS

In addition to the fence and wall standards contained in Section 17.300.030 of the WZO, the following standards shall apply.

1. All fences and walls shall have a maximum height of 6 feet.
2. Fences and walls located with any required setback area shall have a maximum height of 3 feet.
3. Both sides of all fences and walls shall be articulated with materials and colors that are similar or complementary to the development's buildings.
4. A pilaster, change in wall plane, or other design feature shall be provided a minimum of every 12 feet to avoid presenting a blank wall when visible from the public or private streets.



### OUTDOOR LIGHTING

In addition to the outdoor lighting standards contained in Section 17.300.040 of the WZO, the following standards shall apply.

1. Multiple-family developments shall provide lighting on all vehicular access ways and along major walkways.
2. Lighting shall be installed within all cover and enclosed parking areas, and light control switches shall not be controlled or be accessible to residents.
3. Security lighting fixtures shall not project above the fascia or roof line of the building.

### REFUSE AND RECYCLABLE MATERIALS STORAGE

In addition to the standards for storage and loading of recyclable materials and refuse in Section 17.300.045 of the WZO, the following standards shall apply.

1. Refuse and recyclable materials storage areas shall not face public streets.
2. Refuse and recyclable materials storage areas shall be located in order to minimize noise and visual intrusion on adjacent properties.

### ENERGY CONSERVATION

1. Installation of Energy Star-labeled appliances to the greatest extent feasible is strongly encouraged.

### SIGNS

Signs shall comply with the development standards contained in Chapter 17.330 of the WZO, with the following exception:

Non-commercial murals, non-commercial large graphic designs, and statuary shall be subject to review by the Community Development Director for the sole purpose of ensuring that such displays will not pose a hazard to public health, safety or welfare.



Lighting shall be provided along major walkways throughout multifamily projects.



Refuse and recyclable material storage areas shall not face public streets.



## Parking Standards

This section contains standards to ensure that parking throughout the Moran Street Specific Plan area is convenient and accessible, accommodates all uses, and maintains the character envisioned for the area. Providing for adequate parking is one of the most significant issues for the Specific Plan area. Parking is often difficult to find at all times during the week, but can be particularly difficult to find on weekends or during special events. The Moran Street Specific Plan offers a variety of strategies to resolve the parking issue, including providing for parking structures and encouraging shared parking between different land uses. Parking standards not addressed in this Specific Plan shall be required per Chapter 17.320 of the WZO.

### Parking Spaces Required

1. Each use shall be provided the number of parking spaces as required in Table 4.2 Required Parking Spaces. Any use classification not specifically addressed in this section shall be subject to the off-street parking requirements in chapter 17.320 of the WZO.
2. References to parking spaces per square foot (sf) shall be calculated on the basis of gross floor area.
3. Parking for residential projects shall be provided on-site.
4. Parking for commercial projects and hotels may be provided off-site per the off-site parking standards in Section 17.320.025 of the WZO.

**Table 4.2 Required Parking Spaces**

Use	Required Parking Spaces
<b>RESIDENTIAL</b>	
Per Section 17.320.020 of the WZO except as noted below.	
Multifamily dwellings (two or more units)	<ul style="list-style-type: none"> <li>• Studio and 1 bedroom units: 1 garage space per unit and 0.5 guest space per unit</li> <li>• 2 bedroom units: 1 garage space per unit and 1 guest space per unit</li> <li>• 3 or more bedroom units: 2 garage spaces per unit and 0.5 guest space per unit</li> </ul> <p>Note: Required multifamily dwelling parking spaces may be provided as either an enclosed garage structures (typical with townhome projects) or as spaces in a parking structure (similar to the parking provided as part of the Saigon Villas project).</p>
<b>EATING AND DRINKING ESTABLISHMENTS</b>	
Per Section 17.320.020 of the WZO except as noted below.	
Outdoor Dining	Additional parking spaces for the outdoor dining portion of the restaurant are not required provided the outdoor dining portion does not exceed 20 percent of the restaurant gross floor area or 500 square feet, whichever is smaller. If the outdoor dining area exceeds the requirement then the portion of the outdoor dining area that exceeds the requirement shall provide parking at 1 space per 100 square feet.
Hotel/Motel	1.1 spaces per room, plus 1 space per passenger transport vehicle (minimum 2 spaces). Other uses shall provide spaces as required by this Section and Section 17.320.020 of the WZO.
<b>RETAIL AND SERVICE</b>	
Per Section 17.320.020 of the WZO except as noted below.	
Live/Work	1 space per 500 sf of non-residential floor area in each unit. The residential portion of the unit shall comply with the Section 17.320.020 of the WZO for required parking spaces for residential uses.
<b>INDUSTRY, MANUFACTURING, AND PROCESSING</b>	
Per Section 17.320.020 of the WZO.	
<b>TRANSPORTATION AND COMMUNICATIONS</b>	
Per Section 17.320.020 of the WZO.	
<b>RECREATION, EDUCATION, AND PUBLIC ASSEMBLY</b>	
Per Section 17.320.020 of the WZO.	



Window-like openings along a parking structure's facade help it blend with other projects.



Parking structures shall be screened with vertical landscaping to soften their appearance.

## Parking Methods

There are multiple parking methods that can be applied within the Specific Plan area to supply adequate parking for existing and new development. Since it is envisioned that, over time, the uses in the Moran Street Specific Plan project area will intensify, some of the properties may eventually be used exclusively for parking to accommodate future development. Off-site parking is a permitted use in the Specific Plan, and can take the form of stand alone parking structures or surface parking lots. All off-site parking is subject to the provisions of Section 17.320.025 of the WZO.

## PARKING STRUCTURES

1. Maximum height of parking structures shall not exceed the maximum building height requirement and shall be measured from the adjacent street grade, without restrictions on the number of internal floors.
2. Setbacks for all above grade parking structures shall comply with the building setback requirements in this Specific Plan.
3. All setback areas shall be landscaped in accordance with the landscape standards contained in Chapter 17.310 of the WZO.
4. Parking structures shall be screened with vertical landscaping.
5. Parking structures facing Moran Street, Bolsa Avenue, and Plaza Way are encouraged to be wrapped at the ground floor with commercial space.
6. Parking structure facades facing streets, plazas, or paseos shall be designed with pedestrian scale architectural features and details.
7. Parking structure facades over 150 feet in length shall incorporate at least one or more of the following:
  - a) Differentiation of the ground floor from upper floors
  - b) Varying the arrangement, proportioning and/or design of garage floor openings at regular intervals
  - c) Incorporating changes in architectural materials
  - d) Projecting forward or recessing back portions or elements of the parking structure facade
8. Facades of parking structures shall be designed without continuous horizontal parking floor openings. For example, openings shall be constructed to form a pattern of window-like openings.
9. Parking structure top floor wall designs must conform to two or more of the following options:

- a) A top floor wall with an architectural focal point such as a stair tower or top floor line trellis structure
  - b) A top floor wall line articulated through variation in cornice height or detail
  - c) A top floor wall line with an articulated parapet
10. Views into the upper floors of parking structures facing a public right-of-way shall be minimized through one or more of the following methods:
- a) The use of planters integrated into the upper floors of parking structure facade design
  - b) Decorative trellis work and/or screening as architectural elements on the parking structure upper floor facades
  - c) Openings designed to reflect traditional building window patterns
11. External elevator towers and stair wells shall maintain openings for public view.
12. Subterranean parking areas shall include antennas to ensure that emergency personnel can receive and transmit information from inside the structure.

#### SHARED PARKING

There is a potential for shared parking in the Specific Plan area between uses that have hours of operation that do not substantially coincide with each other. Shared parking is also based upon the “park once” concept, whereby visitors park in one place and visit multiple businesses within the project area (versus driving to each new use). Shared parking arrangements have typically been shown to reduce needed parking spaces in a mixed-use district by 20 to 30 percent. Shared parking reduces the amount of land needed for parking, creating opportunities to provide more pedestrian friendly features such as plazas and paseos, and landscaping. Section 17.320.025 of the WZO provides shared parking provisions that may be used to consolidate parking in the Specific Plan area.

1. Residential projects shall be excluded from shared parking arrangements and must provide parking spaces specifically dedicated for residents.
2. Shared parking is allowed subsequent to a shared parking analysis approved by the Director. As part of the study, the applicant will have to demonstrate that the proposed uses have differing peak-hours of parking demand or that the total parking demand at any one time will be adequately served by the total number of parking spaces proposed.



A landscape planting strip can separate parking areas and public street.





Projects in the Specific Plan area must accommodate bicycle parking.

### TANDEM PARKING

Tandem spaces, though physically sufficient to accommodate resident vehicles, are less convenient and functionally flexible than side-by-side parking spaces therefore, they require special consideration. Tandem parking can be provided within enclosed garages typical to townhomes and can also be applied to structured parking provided in association with a residential project. Tandem parking is not permitted for non-residential uses such as commercial or office. The following standards apply to tandem parking for residential uses.

1. The preferred ratio of units designed with tandem spaces is up to 30 percent (each project shall have no less than 70 percent of its units designed with side-by-side parking).

### SURFACE PARKING

In addition to the parking screening standards contained in Sections 17.300.035 and 17.310.015 of the WZO, the following standards shall apply.

1. A continuous barrier shall be provided to screen off-street uncovered surface parking spaces at the street periphery.
2. A 36-inch high hedge or other landscaping screen combined shall be placed along the frontage adjacent to parking spaces to screen surface parking areas at the street periphery.
3. Screening shall not conceal or hide but rather soften the visual impact of the parking area. Parking areas shall remain visible to passersby and police.
4. Parking areas for nonresidential uses adjoining public streets shall be designed to provide a minimum 5-foot wide (inside dimension) landscaped planting strip between the back of sidewalk and the parking area.
5. Screening methods must be approved by the Director.

### BICYCLE PARKING

Bicycle parking shall be provided per the standards in Section 17.320.035 of the WZO.

## Open Space Standards

The standards in this section are provided to ensure that a network of interconnected paseos, plazas, and smaller open spaces are provided to enhance the livability and quality of the Specific Plan area.

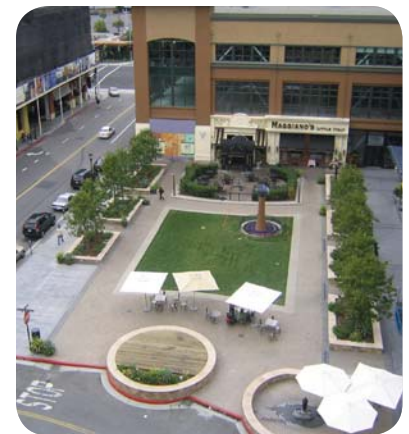
### Public Open Space for Commercial and Mixed-Use Projects

The purpose of establishing standards for public open space for commercial and mixed-use projects is to establish safe and inviting areas where the public may gather, interact, and rest within an attractive and vibrant pedestrian environment. These areas may be publicly or privately owned and maintained. Commercial and mixed-use projects shall conform to the following public open space standards:

1. A minimum 5 percent of the gross site area for all non-residential development shall be reserved for public open space. Mixed-use development that includes residential units may reduce the public open space requirement to 3 percent of the gross site area but must provide all private and common open space for residential projects as required in this Specific Plan.
2. Public open spaces shall have a minimum dimension 15 feet in any direction and a minimum area of 400 square feet.
3. Public open spaces shall be accessible to the general public and may include plazas, pedestrian paseos, balconies, and/or terraces. A maximum of 25 percent of the required public open space may be provided above the street level.
4. A minimum of 30 percent of the public open space area shall contain landscaping, including shade trees, accent trees, potted plants, and other landscaping. Hard surfaced areas and specialty paving shall also be incorporated into the public open space design.
5. Public open spaces shall exclude areas designated as vehicular or pedestrian zones, and parking areas. An exception shall be granted to private properties that include Asian Garden Mall Drive and Plaza Way. They may count the pedestrian zones located within their property toward the public open space requirement.
6. A maximum 50 percent of the public open space area may be used for outdoor sales/display areas in accordance with standards for outdoor display areas on pages 4-14 and 4-15.
7. Public open spaces shall incorporate a variety of pedestrian amenities to promote regular use. Pedestrian amenities may include, but are not limited to, seating, lighting, bicycle racks, special paving, fountains or water features, landscaping, artwork, and/or special urban recreational features.



Storefront windows can increase a sense of security in public spaces.



Projects are encouraged to combine their required open space to provide larger, more usable spaces.



Public space with interactive activities fosters a lively environment.



Public open space shall be accessible to the general public.



Special paving may be incorporated into public open space to create a visually dynamic appearance.



Open space shall incorporate pedestrian amenities such as seating, water features, or landscaping.

8. To ensure the visibility and security of public open spaces, buildings adjacent to an existing or planned pedestrian plaza or paseo shall provide at least one of following elements along the building facade abutting the public open space:
  - a) Storefronts with windows,
  - b) Outdoor seating areas or cafes,
  - c) Upper floor balconies, or
  - d) Features that the Director finds will bolster security and encourage pedestrian use of the public open space.
9. In instances where small or awkwardly shaped properties make the provision of on-site public open spaces impractical, the Director may permit the in-lieu payment of the cost to construct the required amount of usable open space off site.
10. At the discretion of the Director, required public open space may be constructed off site and/or as part of a larger public open space provided by the City or other private development.
11. Public open space requirements do not need to be located immediately next to their individual buildings, and are instead encouraged to coordinate with other projects to provide larger outdoor spaces that are centrally located and serve multiple buildings.
12. Public open space requirements of a proposed project may be added to an existing open space area, so long as the proposed open space area is contiguous to the existing open space area and permission is granted by the existing property owner.
13. Public open spaces may count up to 50 percent of a site's required landscape area as required in Section 17.31.020 of the WZO.

### Private and Common Outdoor Space for Residential Projects

The following standards shall apply to residential only projects and the residential portion of mixed-use projects. Projects that include residential units shall provide a minimum of 160 square feet of private and common outdoor space per dwelling unit as described below.

#### PRIVATE OUTDOOR SPACE

1. A minimum of 60 square feet per unit shall be provided in the form of private outdoor space in a minimum of 75 percent of the dwelling units; the remaining 25 percent of the units may use common open space only to satisfy this requirement if desired.
2. Private outdoor space shall have a minimum dimension of 5 feet in any direction.
3. Private outdoor space shall be accessible directly from the living area of the unit, in the form of a fenced yard, patio, courtyard, balcony, or roof garden.



4. Private outdoor space shall be open on a least one side but need not be open to the sky.
5. A 3 foot minimum height wall or hedge shall physically separate private outdoor space from common areas.
6. A 5 foot minimum height wall, hedge, or planted vine shall physically separate individual private outdoor spaces.

### COMMON OUTDOOR SPACE

1. A minimum of 80 square feet per unit shall be provide in the form of common outdoor space.
2. Common outdoor space may include courtyards, plazas, swimming pools, outdoor spas, rooftop decks, terraces, or other similar spaces that are substantially open to the sky.
3. Usable common outdoor space shall have a minimum level surface dimension of 15 feet in any direction and a minimum area of 400 square feet.
4. The dimensions for usable common outdoor space areas shall be measured from the outside of any private open space attached to a unit at ground level.
5. The dimensions for usable common outdoor space may include the building setback area if the buildings facing the open space area display a high degree of articulation and the building setback area is heavily landscaped. Landscaping may consist of in-ground or potted plants.
6. Usable common outdoor space shall not include:
  - a) Any area counted as private outdoor space;
  - b) Sidewalks and paved pathways within setback areas;
  - c) Any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles, or turnaround areas;
  - d) Storage areas (refuse or otherwise) or any area fenced or otherwise inaccessible to the residents;
  - e) Slope areas exceeding 8 percent; or
  - f) Areas within public rights-of-way.
7. Projects with more than 20 units shall include at least one amenity, such as a community room, a swimming pool, outdoor cooking facility, or other recreation facility. Such common amenity spaces shall count toward the common outdoor space requirements.

### FLEX SPACE

1. A minimum of 20 square feet per unit (referred to as “flex space”) shall be provided that can be added to either the private or common open space areas. This additional 20 feet is needed to achieve the 160 square feet total outdoor space requirement.



Paseos shall have lighting and low level landscaping to ensure visibility and enhance safety.



Pedestrian amenities such as seating and landscaping should be provided along paseos.





Common outdoor space may include courtyards, plazas, or similar spaces open to the sky.



Common outdoor space in residential projects can serve as social gathering places.

## PASEOS

The purpose of establishing standards for paseos is to provide for safe and convenient east-west pedestrian access between Moran Street and Asian Garden Mall Drive. Refer to Chapter 3 for conceptual paseo locations.

1. One paseo is required per 250 feet of street frontage along Moran Street and Asian Garden Mall Drive. Property owners should cooperate in the planning and design of their projects to provide paseos at their mutual property lines.
2. Paseos shall have a minimum 10 foot pedestrian clear space, but larger widths are encouraged to provide spaces for landscaping, benches, outdoor dining, focal points, and water features designed with consideration of conserving water.
3. Paseos shall include pedestrian amenities such as seating, decorative lighting, bicycle racks, special paving, fountains or water features, landscaping, artwork, and/or special urban recreational features.
4. Paseos should incorporate focal points such as architectural structures, public art, and interactive water fountains.
5. Building facades adjacent to paseos shall be architecturally detailed to complement the front of the building.
6. To ensure the visibility and security of paseos adjacent buildings should provide ground floor windows and doors, outdoor seating areas or cafes, and/or upper floor balconies.
7. Paseos shall be designed to avoid configurations that create blind spots or areas hidden from public view.
8. Paseos shall have lighting and low level landscaping to ensure visibility and enhance safety.

## **Permitted Uses**

Permitted uses (P), administratively permitted uses (AUP), conditionally permitted uses (CUP), and prohibited (-) uses are listed in Table 4.3, and are subject to the provisions of Article 5 of the WZO. All proposed uses must respect the intent of the plan and the conditions encountered in each portion of the Specific Plan area.

It should be noted that new land uses may be phased in over time, as market conditions dictate. The provisions of the Moran Street Specific Plan make it possible to accommodate commercial uses in the short term, and transition to higher intensity uses in future phases. Land uses and land use regulations in the Specific Plan have been structured to accommodate a mix of uses, which can be applied horizontally (on individual properties) or vertically (on multiple stories of a building).

Those uses not specifically listed in the table are prohibited. Uses that are not specifically listed but are similar in nature to those listed are subject to review based on the consistency within the purpose and intent of the planning areas and are subject to the approval of the Director. The Director may refer uses or interpretation of permitted uses to the Planning Commission.

### Preferred Uses

As discussed in chapter 3, Asian Garden Mall Drive is intended to be the primary spine of pedestrian activity in the project area, with Plaza Way serving as an important east-west pedestrian access way. To promote an active and interesting pedestrian environment in the Specific Plan area, retail uses are strongly encouraged to be located on the ground floor of development located along the street frontages of Asian Garden Mall Drive north of Plaza Way and Plaza Way (Figure 4.13). However, this does not preclude retail uses from being located along other streets within the Specific Plan area. Table 4.3 identifies specific retail uses that are strongly encouraged on the ground floor of development.

Figure 4.13 Ground Floor Retail Uses

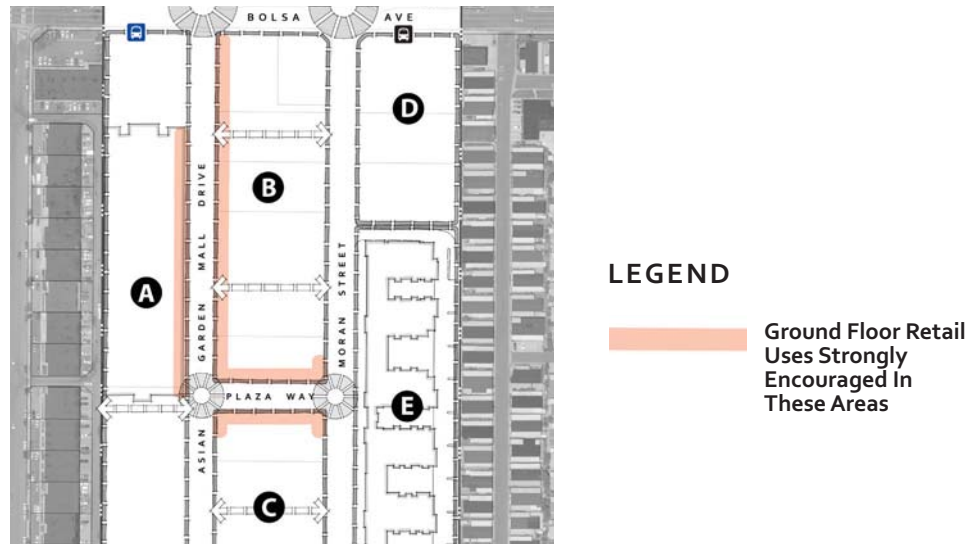


Table 4.3 Permitted Uses

Use <sup>1</sup>	Permit Requirement	Notes
<b>RESIDENTIAL</b>		
Boarding and Lodging House	CUP	
Multiple-family dwellings, two-family dwellings and bungalow courts	P	
Home based business-Level 1	P	Refer to Section 17.400.75 and Chapter 17.530 of the WZO
Home based business-Level 2	CUP	Refer to Section 17.400.75 and Chapter 17.530 of the WZO
Live/Work	AUP	Refer to Chapter 4 for specific standards related to live/work
One family dwelling	–	
Residential care facilities, 6 or fewer clients	P	
Residential care facilities, 7 or more clients	CUP	
Secondary Dwelling Units	–	
Senior housing	CUP	Refer to Section 17.400.085 of the WZO
<b>INDUSTRY, MANUFACTURING, AND PROCESSING</b>		
Catering (for offsite consumption)	CUP	
Laundry facilities, commercial - carpet and upholstery	CUP	
Manufacturing, assembly, welding, and/or fabrication	–	
Printing - commercial and wholesale	CUP	
Research and development	CUP	
Self storage	–	
Warehousing and distribution facilities	–	
Wholesale sales	–	

P = Permitted Use

AUP = Administrative Use Permit Required

CUP = Conditional Use Permit Required

– = Prohibited Use

Notes:

<sup>1</sup>Refer to Article 7 of the WZO for definitions of the land uses listed.



Table 4.3 Permitted Uses (Continued)

Use <sup>1</sup>	Permit Requirement	Notes
<b>RETAIL</b>		
Alcohol sales (off-site consumption)	CUP	
Alcohol sales (on-site consumption)	CUP	
Antique stores	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Apparel	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Art/photography stores and galleries	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Bakery or delicatessen	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Bars and night clubs	CUP	
Book and stationary stores	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Cafe, coffee house, and teahouses	CUP	Refer to Section 17.400.030 of the WZO. Cafes, coffee houses, and tea houses are permitted without a CUP if found in compliance with the provisions of Section 17.400.030 of the WZO.
Convenience stores	P	
Department stores	P	
Drive-in and drive-through facilities	—	
Drug stores and pharmacies	P	
Equipment sales and rentals (excluding vehicles)	P	
Florist/flower shop	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Food service cart (incidental to host use)	AUP	
Furniture, furnishings, and appliance stores	P	
General retail stores	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Grocery store	P	
Home improvement stores	P	
Liquor store	CUP	
Outdoor storage	CUP	
Pet shop	P	Refer to Section 17.400.025 of the WZO
Plant nurseries (retail) and garden supply stores	P	
Restaurants	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Second-hand stores	AUP	
Shopping center	P	
Sporting goods and equipment store	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Stationary and office supplies	P	Preferred ground floor use. Refer to Figure 4.13 for location.
Vehicle sales	—	
Warehouse retail stores	—	

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Notes:

<sup>1</sup>Refer to Article 7 of the WZO for definitions of the land uses listed.

Table 4.3 Permitted Uses (Continued)

Use <sup>1</sup>	Permit Requirement	Notes
<b>SERVICE</b>		
Acupuncture	P	
Automated-teller machines	P	
Banks and financial institutions	P	
Bicycle repair, sales, and rental	P	
Business and consumer-support services	P	
Car wash facility, full service	CUP	
Car wash facility, self service	CUP	
Check cashing businesses	CUP	
Child day care facilities	CUP	
Government offices	P	
Hotels and motels	CUP	All conditional use permits for hotels and motels shall require City Council review and approval, following a public hearing review and recommendation by the Planning Commission.
Laundromat (coin operated)	P	
Massage establishments	CUP	Refer to Section 17.400.095 of the WZO
Medical services	P/CUP	Medical or dental offices are permitted by right; clinics and hospitals require a CUP
Professional offices	P	
Pawnshops	CUP	
Personal services	P	
Pet day care	P	
Public-safety facilities	CUP	
Public-utility facilities	CUP	
Recycling facility (reverse vending machine)	CUP	Refer to Section 17.400.115 of the WZO
Recycling facility (small collection)	CUP	Refer to Section 17.400.115 of the WZO
Service/gas stations	—	
Veterinary clinics/animal hospitals	CUP	

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— = Prohibited Use

Notes:

<sup>1</sup>Refer to Article 7 of the WZO for definitions of the land uses listed.

**Table 4.3 Permitted Uses (Continued)**

Use <sup>1</sup>	Permit Requirement	Notes
Vehicle maintenance/repair	–	
<b>TRANSPORTATION AND COMMUNICATIONS</b>		
Bus depot	CUP	
Stand alone parking structure; public surface parking; off-site parking facilities developed in conjunction with another use	CUP	
Wireless communications facilities	CUP	Refer to Section 17.400.175 of the WZO
<b>RECREATION, EDUCATION, AND PUBLIC ASSEMBLY</b>		
Amusement center/park	CUP	
Bowling alley	AUP	
Clubs, lodges, and fraternal organization	P	
Entertainment in conjunction with eating and drinking establishments	CUP	
Entertainment (limited) in conjunction with eating and drinking establishments	AUP	Refer to Section 17.400.055 of the WZO
Farmers Market	AUP	City shall approve entertainment, hours, and duration (days)
Health/fitness facilities	P	
Ice/Roller skating rink	AUP	
Outdoor commercial recreation	CUP	
Public recreational and cultural facilities	P	
Pool hall/billiards room	CUP	
Private school	CUP	
Religious places of worship	CUP	
Studios (art, dance, music, photography, etc.)	P	
Theater	CUP	
Tutoring centers	P	
Vocational and trade schools	CUP	

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 AUP = Administrative Use Permit Required  
 CUP = Conditional Use Permit Required  
 – = Prohibited Use

Notes:  
<sup>1</sup>Refer to Article 7 of the WZO for definitions of the land uses listed.